

BEFORE THE BOARD OF COUNTY COMMISSIONERS
FOR COLUMBIA COUNTY, OREGON

In the Matter of Acquiring a Perpetual Right-of Way)
Easement and Permanent Slope Easement from Brenda Foey)
and a Perpetual Right-of Way Easement from Perry Corrie)
for the Bridge Replacement on Chapman Grange Road) Resolution No. 145-2007

WHEREAS, Columbia County is in the process of replacing the bridge on Chapman Grange Road, Bridge No. 22; and

WHEREAS, certain property must be acquired for right-of-way, to successfully complete the bridge replacement under the authority of ORS 35.605; and

WHEREAS, certain property must be acquired for a Permanent Slope Easement; and

WHEREAS, certain property must be acquired for Perpetual Right-of-Way Easements; and

WHEREAS, the property which must be acquired to successfully complete and maintain said improvements is described in Attachments 1-6; and

WHEREAS, pursuant to ORS 35.610, before the right to acquire such property under ORS 35.605 is exercised, the Board of County Commissioners shall describe the land to be purchased, acquired, entered upon or appropriated, and shall determine that the appropriation of such land is reasonably necessary to protect the full use and enjoyment by the public of the road, street or highway;

NOW, THEREFORE, IT IS HEREBY RESOLVED as follows:

1. A Perpetual Right-of Way Easement, as described in Attachment 1 and depicted in Attachment 2, which are attached hereto and incorporated herein by this reference, shall be purchased, acquired, entered upon or appropriated for said project; and
2. A Perpetual Right-of Way Easement, as described in Attachment 3 and depicted in Attachment 4, which are attached hereto and incorporated herein by this reference, shall be purchased, acquired, entered upon or appropriated for said project.
3. A Permanent Slope Easement, as described in Attachment 5 and depicted in Attachment 6, which are attached hereto and incorporated herein by this reference, shall be purchased, acquired, entered upon or appropriated for said project.

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4. The easements authorized by this Resolution shall be recorded with the County Clerk without costs.
5. The purchase, acquisition, or appropriation of such land is reasonably necessary to protect the full use and enjoyment by the public of the road, street or highway.

Dated this 31st day of October, 2007.

Approved as to form

By: [Signature]
County Counsel

BOARD OF COUNTY COMMISSIONERS
FOR COLUMBIA COUNTY, OREGON

By: [Signature]
Chair

By: [Signature]
Commissioner

By: [Signature]
Commissioner



14315 SW Cougar Ridge Dr.
 Beaverton, Oregon 97008
 Ph: 503-590-7158
 Fax: 503-521-8372
 Email: d.mills@verizon.net

DEDICATION
NORTH SIDE of L. R. FRINK ROAD
CORRIE to COLUMBIA COUNTY

A Roadway Dedication being part of that Tract of land described in Deed to Perry L. Corrie recorded January 25, 2005 in Fee No. 2005-001022, Columbia County deed records being situated in the Southeast one quarter of Section 13, Township 4 North, Range 3 West, Willamette Meridian, Columbia County, Oregon, being more particularly described as follows:

Beginning at the most Northeast corner of Parcel 1 of the Partition Plat No. 1993-43 being on the Northerly Right of Way line of L. R. Frink Road (County Road No. P-127) being 40 feet wide; thence along the North line of said Parcel 1, S 87° 58' 25" W a distance of 336.31 feet to the **TRUE POINT OF BEGINNING** of the herein described tract; thence N 87° 58' 25" E a distance of 153.73 feet; thence S 1° 41' 17" E a distance of 16.67 feet to Point "A"; thence along a 465.00 foot radius curve concave to the northeast through a central angle of 0° 43' 42" (chord bears N 86° 52' 34" E, a distance of 5.91 feet) an arc distance of 5.91 feet to a point on the said Northerly Right of Way line; thence along said Northerly line, S 84° 04' 56" W a distance of 8.66 feet; thence along a 445.44 foot radius curve concave to the northeast through a central angle of 19° 40' 13" (chord bears N 86° 04' 57" W, a distance of 152.17 feet) an arc distance of 152.92 feet to the Westerly line of said Corrie tract; thence leaving said Northerly Right of Way line along said Westerly line, N 15° 51' 39" E a distance of 1.46 feet to the true point of beginning.

TOGETHER WITH the following described tract of land being that land lying South of L. R. Frink Road, being more particularly described as follows;

Beginning at a point that bears S 02° 00' 33" E a distance of 40.38 feet from said Point 'A' being on the Southerly Right of Way line of said L. R. Frink Road; thence following said Right of Way line along a 485.44 foot radius curve concave to the northeast through a central angle of 20° 08' 51" (chord bears N 85° 50' 38" W, a distance of 169.82 feet) an arc distance of 170.70 feet to the Westerly line of said Corrie tract; thence along said Westerly line, S 5° 01' 00" W a distance of 7.37 feet; thence leaving said Westerly line, S 77° 46' 52" E a distance of 70.04 feet; thence N 84° 27' 16" E a distance of 102.04 feet to the point of beginning.

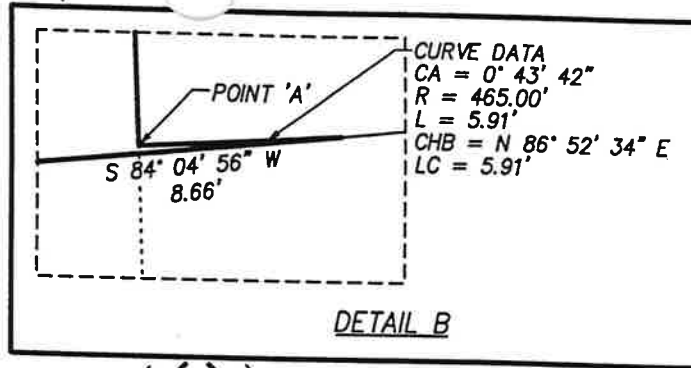
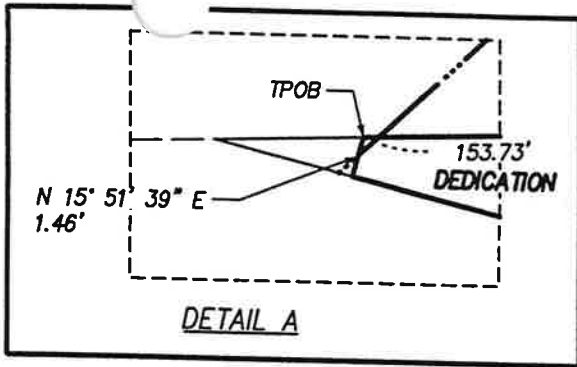
The above described tract contains 2983 square feet, more or less.

THE BASIS OF BEARINGS IS OREGON STATE COORDINATE SYSTEM, NORTH ZONE, NAD 83 (CORS96).

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

David W. Mills 9-26-07

OREGON
 JULY 18, 1980
 DAVID W. MILLS
 01915
 EXPIRES 12-31-08



ATTACHMENT 2

COLUMBIA COUNTY
2005-014813

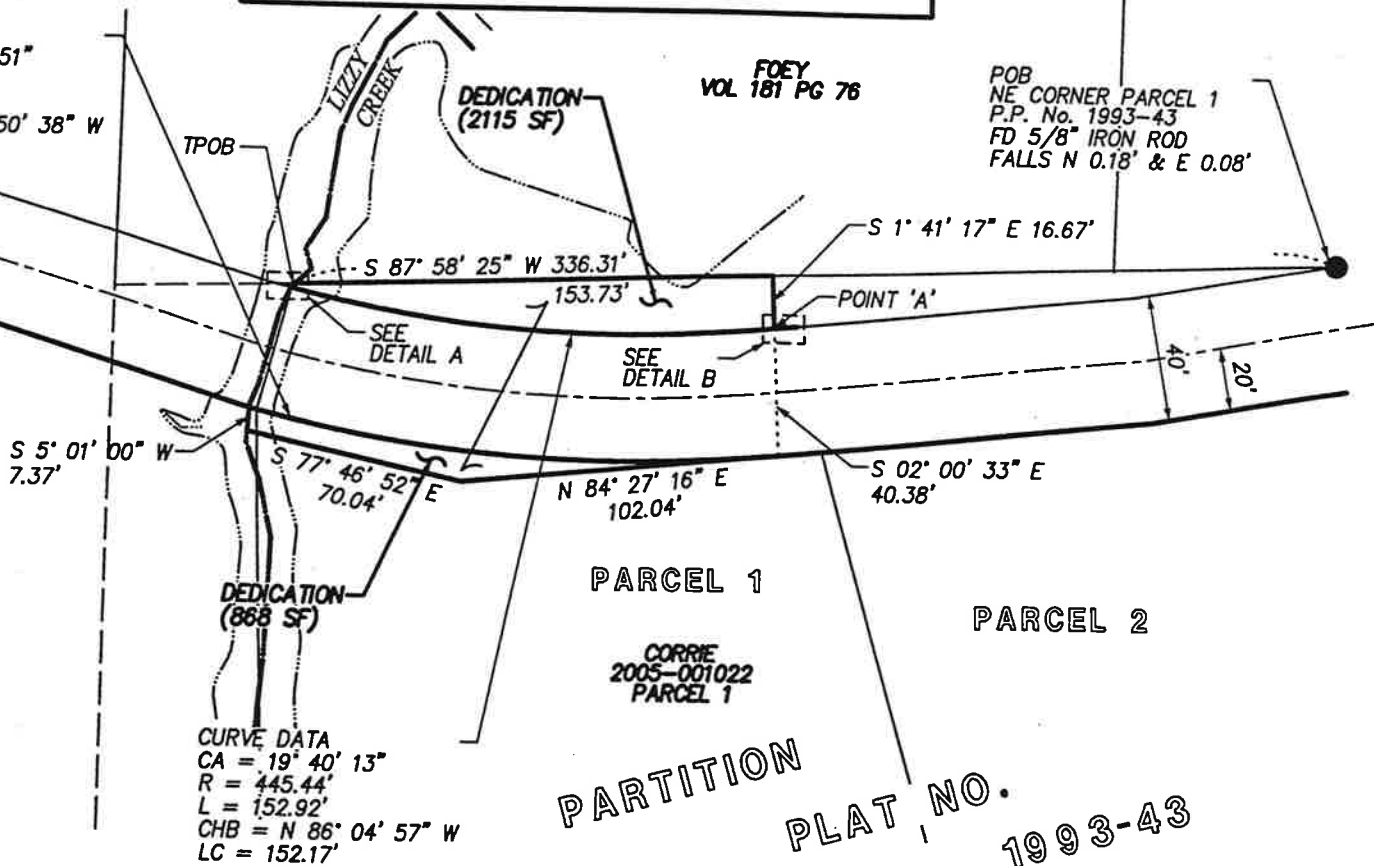
CURVE DATA
CA = 20° 08' 51"
R = 485.44'
L = 170.70'
CHB = N 85° 50' 38" W
LC = 169.82'

L.R. FRINK ROAD
(COUNTY ROAD No. P-127)

LANEY
2006-014417

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POB
NE CORNER PARCEL 1
P.P. No. 1993-43
FD 5/8" IRON ROD
FALLS N 0.18' & E 0.08'



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PROFESSIONAL
LAND SURVEYOR

David W. Mills

OREGON
JULY 18, 1980
DAVID W. MILLS
01915
EXPIRES 12-31-08

SIGNED: 9-26-07



CURVE DATA
CA = 19° 40' 13"
R = 445.44'
L = 152.92'
CHB = N 86° 04' 57" W
LC = 152.17'

PARCEL 1
CORRIE
2005-001022
PARCEL 1
PARTITION
PLAT, NO.
1993-43

DAVE MILLS CONSULTING INC.
PROFESSIONAL LAND SURVEYING SERVICES, OR. & WA.
14315 S.W. Cougar Ridge Dr.
Beaverton, OR 97008
Ph: 503-990-7158
Fax: 503-521-8372
email: d.mills@verizon.net

FILE: B24 ROW - "CORRIE ESMT"
DATE: 06-14-2007 REV 09-25-2007
SCALE: 1" = 60'
SHEET 1 OF 1

EXHIBIT "B"

DEDICATION

for
BRIDGE 24 - LIZZY CREEK
SE 1/4 SEC 13 T.4N. R.3W. W.M.



EXHIBIT "A"

14315 SW Cougar Ridge Dr.
Beaverton, Oregon 97008
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PROPOSED DEDICATION
NORTH SIDE of L. R. FRINK ROAD
FOEY TO COLUMBIA COUNTY

A Roadway Dedication being part of that Tract of land described in Deed to Brenda T. Foey recorded April 7, 1971 in Book 181 Page 76, Columbia County deed records being situated in the Southeast one quarter of Section 13, Township 4 North, Range 3 West, Willamette Meridian, Columbia County, Oregon, being more particularly described as follows:

Beginning at the most Northeast corner of Parcel 1 of the Partition Plat No. 1993-43 being on the Northerly Right of Way line of L. R. Frink Road (County Road No. P-127) being 40 feet wide; thence along the North line of said Parcel 1, S 87° 58' 25" W a distance of 312.16 feet to the **TRUE POINT OF BEGINNING** of the herein described tract; thence along a 465.00 foot radius curve concave to the northeast through a central angle of 1° 02' 45" (chord bears N 76° 05' 51" W, a distance of 8.49 feet) an arc distance of 8.49 feet; thence N 75° 34' 28" W a distance of 74.16 feet more or less to the Westerly line of said Foey Tract; thence along the Westerly line of said Foey Tract, S 1° 55' 47" W a distance of 6.02 feet to the Northerly Right of Way line of said L. R. Frink Road; thence leaving said Westerly line and along said Right of Way line, S 72° 53' 08" E a distance of 50.35 feet; thence along a 445.44 foot radius curve concave to the northeast through a central angle of 0° 22' 02" (chord bears S 75° 25' 14" E, a distance of 2.86 feet) an arc distance of 2.86 feet to a point on the North line of said Parcel 1; thence along said North line, N 87° 58' 25" E a distance of 29.40 feet to the true point of beginning.

The above described tract contains 498 square feet, more or less.

THE BASIS OF BEARINGS IS OREGON STATE COORDINATE SYSTEM, NORTH ZONE, NAD 83 (CORS96).



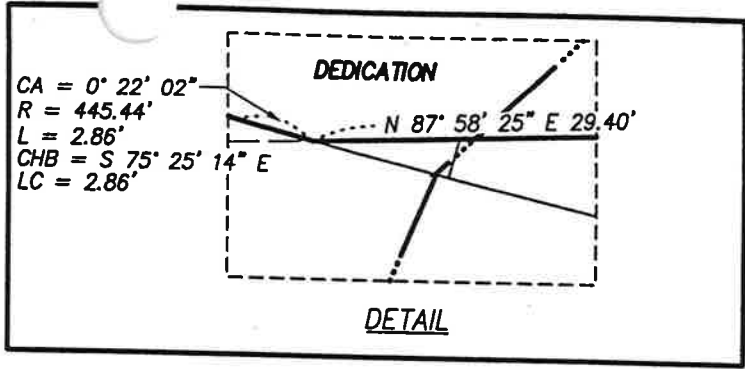
Prepared by: Dave Mills
TAKE FOEY.doc

EXPIRES 12-31-08

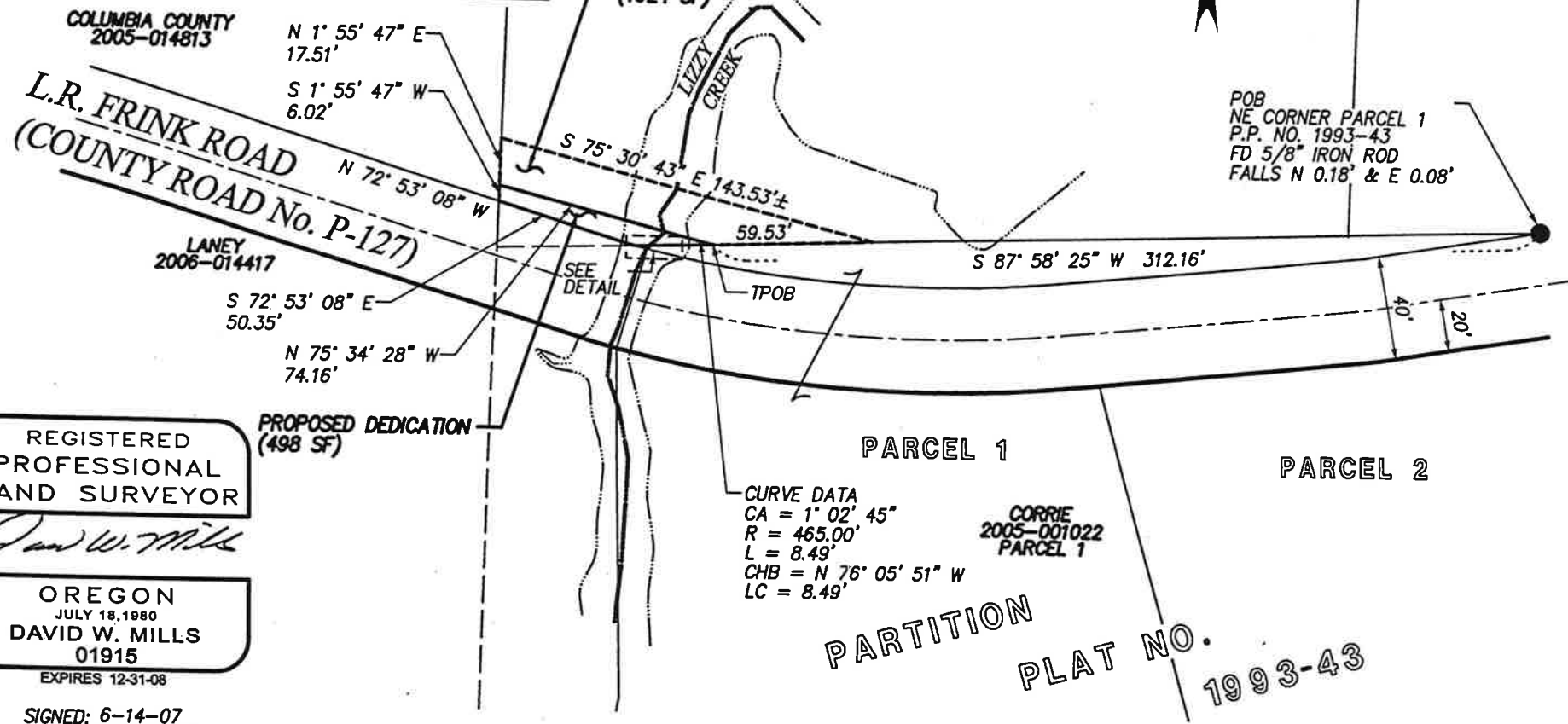
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EXHIBIT "B"



FOEY
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ATTACHMENT 4

REGISTERED
PROFESSIONAL
LAND SURVEYOR

David W. Mills

OREGON
JULY 18, 1980
DAVID W. MILLS
01915
EXPIRES 12-31-08

SIGNED: 6-14-07

DAVE MILLS CONSULTING INC.

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FILE: B24 ROW - "FOEY ESMT"
 DATE: 6-14-07
 SCALE: 1" = 60'
 SHEET 1 OF 1

PROPOSED DEDICATION & EASEMENT

for
BRIDGE 24 - LIZZY CREEK
 SE 1/4 SEC 13 T.4N. R.3W. W.M.



EXHIBIT "A"

14315 SW Cougar Ridge Dr.
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PROPOSED SLOPE EASEMENT
NORTH SIDE of L. R. FRINK ROAD
FOEY TO COLUMBIA COUNTY

A Slope Easement being part of that Tract of land described in Deed to Brenda T. Foey recorded April 7, 1971 in Book 181 Page 76, Columbia County deed records being situated in the Southeast one quarter of Section 13, Township 4 North, Range 3 West, Willamette Meridian, Columbia County, Oregon, being more particularly described as follows:

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The above described Easement contains 1,924 square feet, more or less.

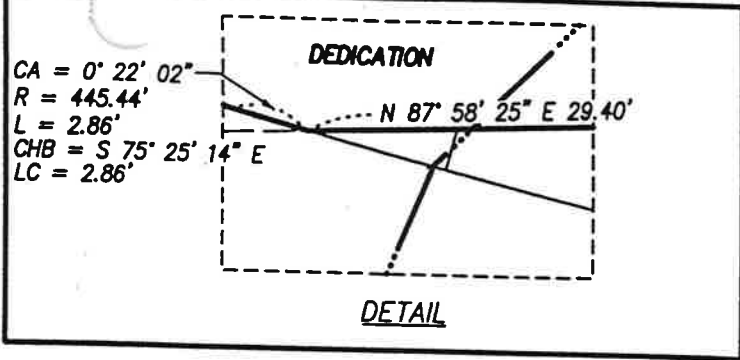
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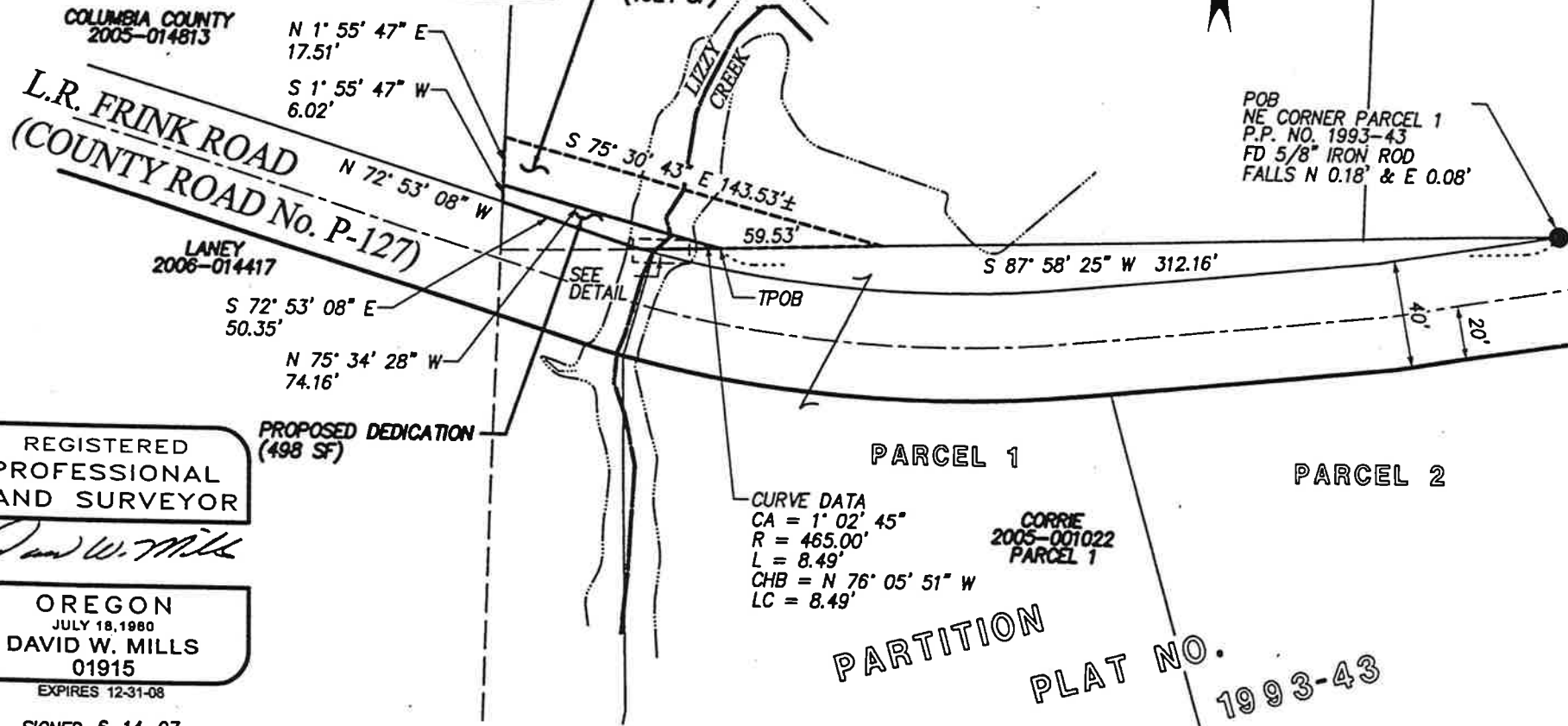
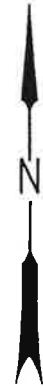
David W. Mills



EXHIBIT "B"



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ATTACHMENT 6

REGISTERED
PROFESSIONAL
LAND SURVEYOR

David W. Mills

OREGON
JULY 18, 1980
DAVID W. MILLS
01915

EXPIRES 12-31-08

SIGNED: 6-14-07

DAVE MILLS CONSULTING INC.

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